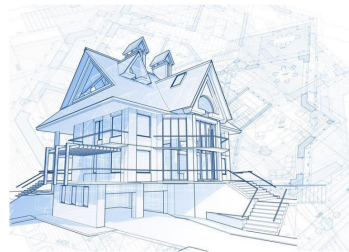


INSPECTION REPORT



***New York City Brownstone Apartments
145 Heritage Place
New York, NY 10024***

Prepared by: East Coast Commercial Inspections
Prepared for: Julian Perez
Inspection: April 20, 2026
Date of Report: April 22, 2026



East Coast Commercial Inspections
188 Brown Street
Sea Cliff, NY 11579
(516) 509- 9091



Thank you for choosing East Coast Commercial Inspections to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thank you so very much for choosing East Coast Commercial Inspections to perform your commercial inspection. REFERRALS AND "REVIEWS" GREATLY APPRECIATED -
www.EastCoastCommercialinspectionsllc.com

Sincerely,
Robert Byrne
on behalf of
East Coast Commercial Inspections

East Coast Commercial Inspections
188 Brown Street
Sea Cliff, NY 11579
(516) 509- 9091

SUMMARY

ROOFING

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██████████ would like to thank you for choosing us to inspect your future home. Please note that every house needs annual maintenance. It is recommended the home owner budget for repair and maintenance of heating / cooling systems, plumbing, electric and site drainage (roof and gutters). The BLUE HYPER LINKS in your report will help with information about your home. Please note any recommended repairs should be done by a licensed and insured professional. Included on the last page of the report is a REFERENCE LIBRARY - PDF to help you understand your new house.

All the best

Rob Byrne - Owner / Operator

[Priority Maintenance Items](#)

Roofing

FLAT ROOFING \ Roll roofing

Condition: • [Ponding](#)

Implication(s): Chance of water damage to structure, finishes and contents

Task: Replace

Time: As soon as practical

Condition: • Past life expectancy

Task: Replace

Time: As soon as practical

Exterior

WALLS \ -Soffits / fascia

Condition: • [Damage](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Front

Task: Recommend further evaluation by a qualified professional to determine next best course of action

Time: Prior to signing contract

Structure

FOUNDATIONS \ Columns or piers

Condition: • Temporary support

Location: Garage

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Electrical

RECOMMENDATIONS \ General

Condition: • Old Stab-Lock panel and breakers

Stab-Lok circuit breakers - particularly those manufactured by Federal Pacific Electric - have been noted as a serious safety hazard in homes. Stab-Lok circuit breakers are dangerous because they do not function properly as circuit breakers. The circuit "breaker," which is the switch that is supposed to flip and interrupt current flow when an issue is detected, does not function properly in these panels.. The circuit breakers are not effective for addressing issues like overloaded circuits and short circuits. Because the breakers may not trip when an issue is detected, this can damage home electrical systems, and even increase the risk of an electrical fire.

Task: Replace

Time: As soon as practical

DISTRIBUTION \ Outlets

Condition: • [Ungrounded](#)

Grounded outlets are an important safety function in electrical systems. Ungrounded outlets, lacking this safety feature, can pose a higher risk to individuals and property. Consult with a licensed electrician for any electrical work needed.

Implication(s): Electric shock

Location: Second floor front bedroom

Task: Improve

Time: As soon as practical

Condition: • [No GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

Implication(s): Electric shock

Location: Apt 2 Kitchen & Bathroom/ Apt 3F Kitchen

Task: Improve

Time: As soon as practical

Heating

OIL HOT WATER \ Oil tank

Condition: • [Rust](#)

Implication(s): Fire or explosion

Location: Basement

Task: Replace

Time: As soon as practical

Condition: • Old oil tanks are prone to leaks

Location: Basement

Task: Replace

Time: As soon as practical

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Plumbing

RECOMMENDATIONS \ General

Condition: • Scope main sewer line

RECOMMEND HAVING MAIN SEWER LINE SCOPED TO DETERMINE CONDITION OF LINE PRIOR TO CONTRACT SIGNING.

_**_ADD SEWER LINE AND WATER MAIN INSURANCE THRU WATER COMPANY **_!!!!!!

Time: Prior to signing contract

Condition: • Recommend adding sewer line insurance

Time: As soon as practical

Condition: • Hot water temperature (Generally accepted safe temp. is 120° F)

The severity of tap water scalds depends on the temperature of the water and the length of time the skin is exposed. Most adults will suffer third-degree burns if exposed to 150 degree water for two seconds. Burns will also occur with a six-second exposure to 140 degree water or with a thirty second exposure to 130 degree water. Even if the temperature is 120 degrees, a five minute exposure could result in third-degree burns. Extra precaution is advised in homes with children and elderly residents.

Implication(s): Scalding

Location: Throughout

Task: Improve

Time: As soon as practical

Condition: • Old galvanized drains

Location: Various kitchens and bathrooms

Task: Replace

Time: As soon as practical

Interior

WINDOWS \ General notes

Condition: • Older windows

Location: Throughout

Task: Budget for replacements

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document. This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

Observation and Recommendations

RECOMMENDATIONS \ Overview

1. Condition: • Leaks in roof may not appear at time of inspection and sometimes develop due to severe weather condition after inspection. We cannot predict when or if a roof might leak in the future.

FLAT ROOFING \ Roll roofing

2. Condition: • [Ponding](#)

Implication(s): Chance of water damage to structure, finishes and contents

Task: Replace

Time: As soon as practical



Ponding on upper roof

Ponding



Roof in need of replacement

Ponding

3. Condition: • Debris/ Moss

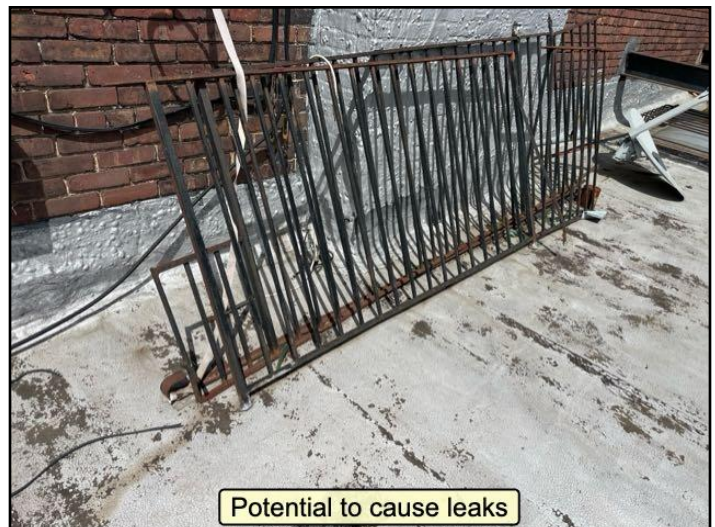
Task: Remove

Time: As soon as practicable



Recommend asking seller to remove all debris from roof

Debris/ Moss



Potential to cause leaks

Debris/ Moss



Debris/ Moss

4. Condition: • Alligatoring



Alligatoring



Alligatoring



Alligatoring



Alligatoring

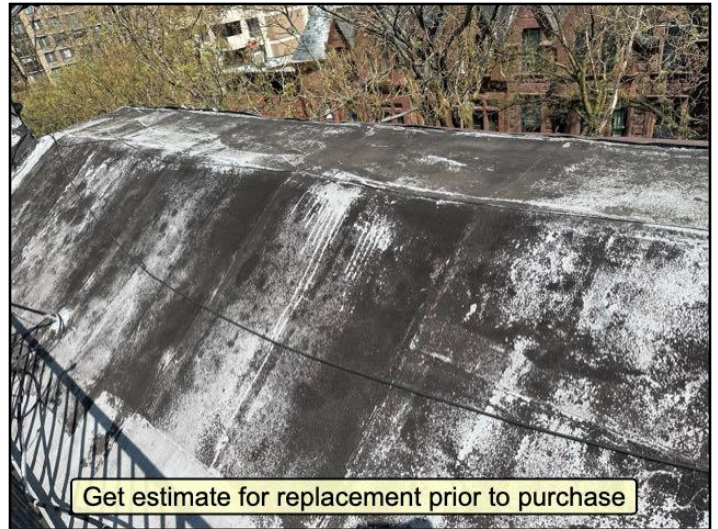
5. Condition: • Past life expectancy

Task: Replace

Time: As soon as practical



Past life expectancy



Past life expectancy



Past life expectancy



Past life expectancy

FLAT ROOF FLASHINGS \ General notes

6. Condition: • Replace when re-roofing

Implication(s): Chance of water damage to structure, finishes and contents



Replace when re-roofing



Replace when re-roofing

7. Condition: • Prior temporary repairs

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	PLUMBING	INTERIOR	APPENDIX
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Prior temporary repairs to roof flashing

Prior temporary repairs



Unsealed openings causing excessive damage to front facade

Prior temporary repairs

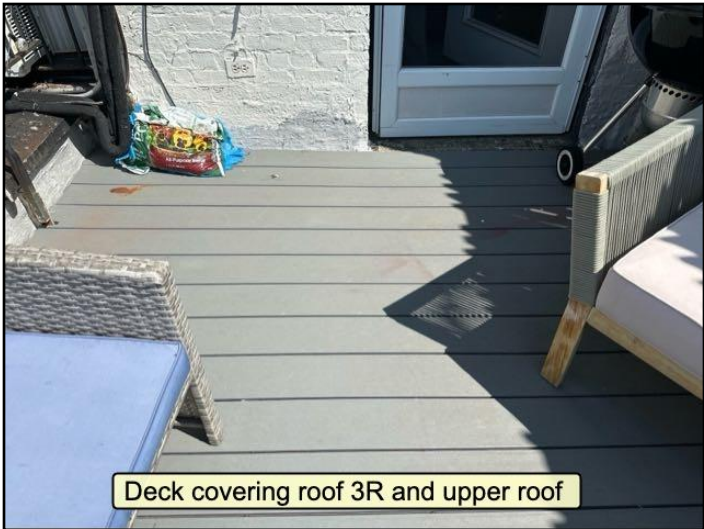
COMMENTS \ Additional

8. Condition: • Recommend annual inspection by a licensed roofing contractor.

Inspection Method and Limitations

Inspection limited/prevented by:

- Deck covering roof



Deck covering roof 3R and upper roof

Deck covering roof



Unable to inspect flat roof

Deck covering roof



Deck covering roof



Deck covering roof

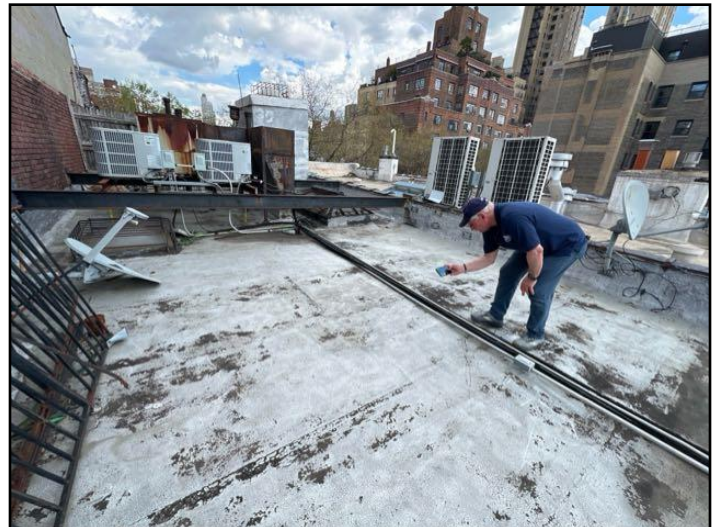
Inspection performed:

- By walking on roof



Inspection performed by walking on roof

By walking on roof



By walking on roof

General Info and Descriptions

Sloped roofing material: • [Roll roofing](#)

Sloped roof flashing material: • Metal • Not visible

Typical life expectancy: • ****NOTE: Recommend annual inspection by a licensed roofing contractor.

The roof was inspected and reported on with the above information. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Leaks in roof may not appear at time of inspection and sometimes develop due to severe weather condition after inspection. We cannot predict when or if a roof might leak in the future.

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RECOMMENDATIONS \ General**9. Condition:** • Birds nesting**Location:** Front**Task:** Improve*Birds nesting**Birds nesting**Birds nesting**Birds nesting*

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*Birds nesting**Birds nesting***RECOMMENDATIONS \ Overview**

10. Condition: • Gutters and downspouts help to ensure dry basements and crawlspaces. The less water near the foundation, the lower the risk of water penetration into basement.

11. Condition: • ****NOTE: The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility. Please note that an inspection is not a guarantee that you do not have termites or damage in visually inaccessible areas, such as inside walls or behind finished basement surfaces. Recommend an annual Termite and/or Carpenter Ant inspection.

WALLS \ -Soffits / fascia

12. Condition: • [Damage](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Front

Task: Recommend further evaluation by a qualified professional to determine next best course of action

Time: Prior to signing contract

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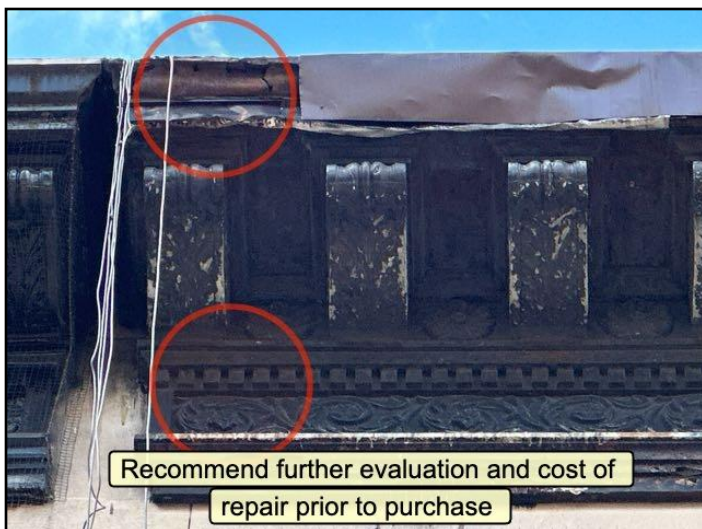
COOLING

PLUMBING

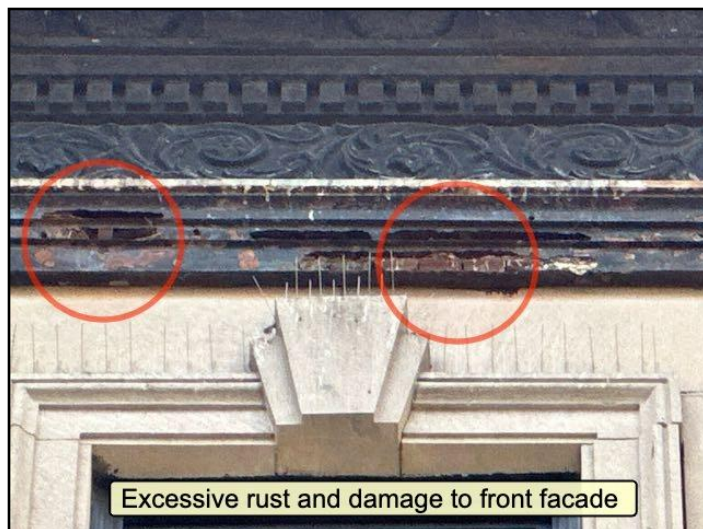
INTERIOR

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Damage



Damage



Damage



Damage

WALLS \ -Flashings**13. Condition:** • [Flashings missing](#)**Implication(s):** Chance of water damage to structure, finishes and contents

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Missing proper flashing on front facade

Flashings missing



Unsealed openings causing excessive damage to front of building

Flashings missing

EXTERIOR WINDOWS \ General

14. Condition: • Old budget for replacement



Old first floor rear windows

Old budget for replacement



Old budget for replacement

EXTERIOR WINDOWS \ Skylight

15. Condition: • Old

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Old



Old



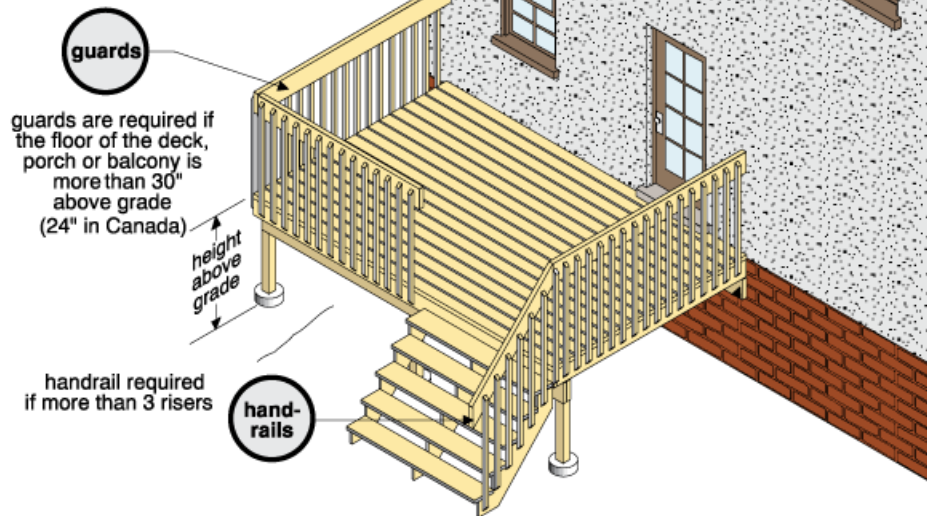
Old



Old

PORCHES, DECKS, STAIRS, PATIOS \ *Handrails and guards***16. Condition:** • [Missing](#)**Implication(s):** Fall hazard**Location:** Front**Task:** Provide

Handrails and guards



Missing



Missing

LANDSCAPING \ #General notes

17. Condition: • Vines on building

Implication(s): Chance of damage to finishes | Chance of pests entering building

SUMMARY

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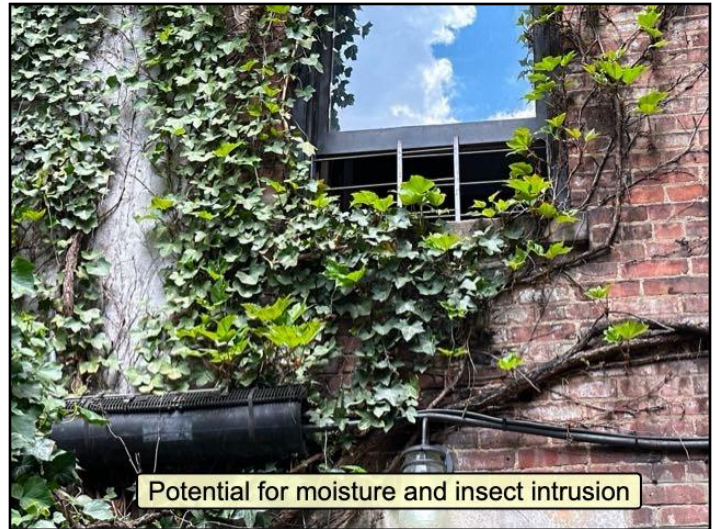
INTERIOR

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Vines on building



Vines on building

LANDSCAPING \ #Walkway

18. Condition: • Uneven (trip hazard)

Implication(s): Physical injury

Location: Front

Task: Improve

Time: As soon as practical



Uneven (trip hazard)

COMMENTS \ Additional

19. Condition: • Photos are only a representative sample of condition observed. There may be other areas of concern not shown by photo but stated in the report as a recommendation.

Observation and Recommendations

RECOMMENDATIONS \ General

20. Condition: • Parapet wall coping damaged



Parapet wall coping damaged



Parapet wall coping damaged



Parapet wall coping damaged



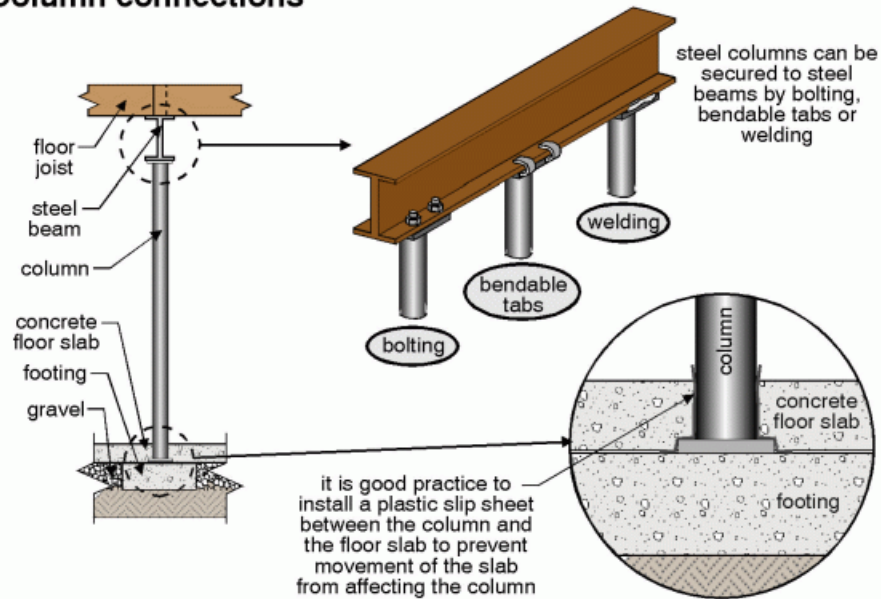
Parapet wall coping damaged

FOUNDATIONS \ Columns or piers

21. Condition: • [Poorly secured at top or bottom](#)

Implication(s): Weakened structure | Chance of structural movement

Column connections



Poorly secured at top or bottom



Poorly secured at top or bottom

22. Condition: • Temporary support

Location: Garage

SUMMARY

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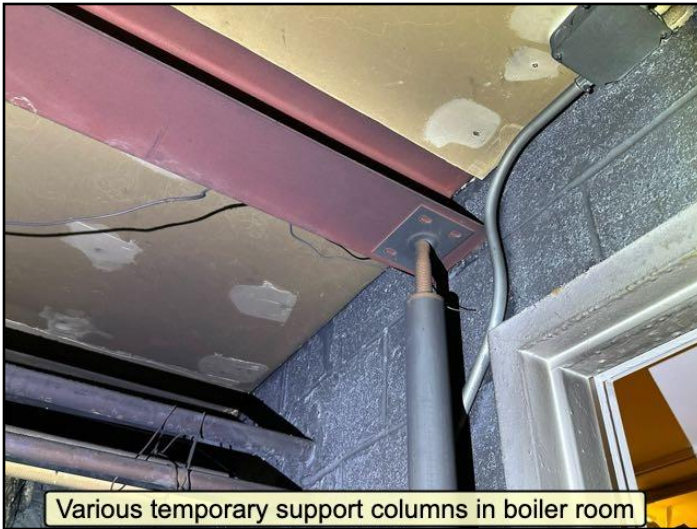
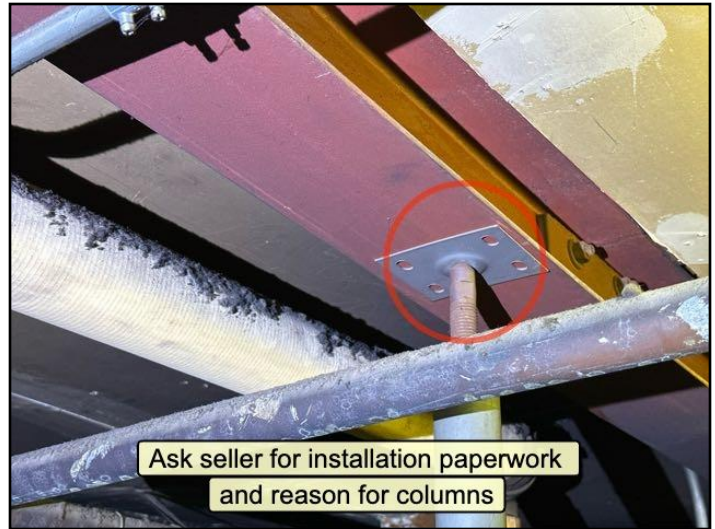
COOLING

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*Temporary support**Temporary support**Temporary support*

Inspection Method and Limitations

General: • Please note that an inspection is not a guarantee that you do not have termites or damage in visually inaccessible areas, such as inside walls or behind finished basement surfaces. Recommend an annual Termite and/or Carpenter Ant inspection.

Inspection limited/prevented by:

- Basement walls and ceilings limited inspection of foundation and framing

SUMMARY

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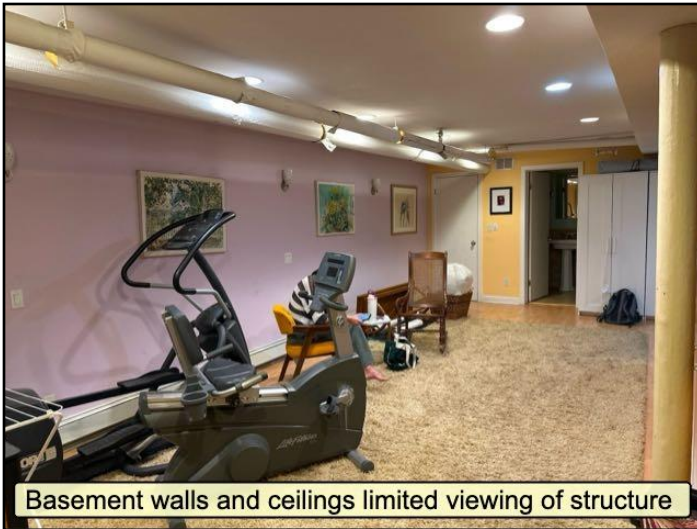
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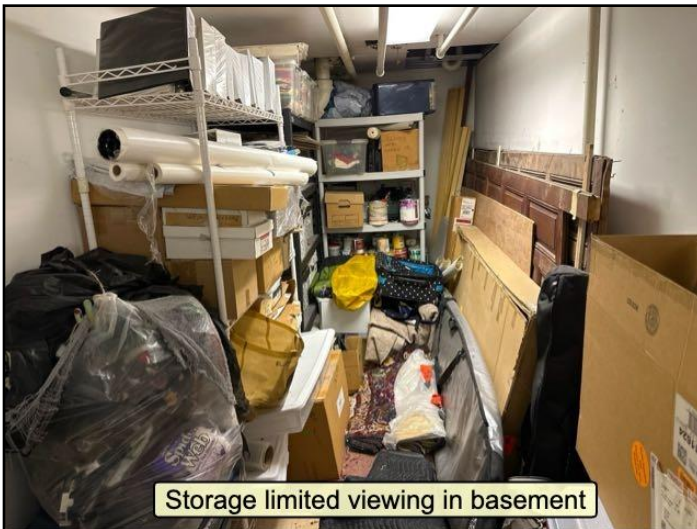
REFERENCE



Basement walls and ceilings limited viewing of structure

Basement walls and ceilings limited...

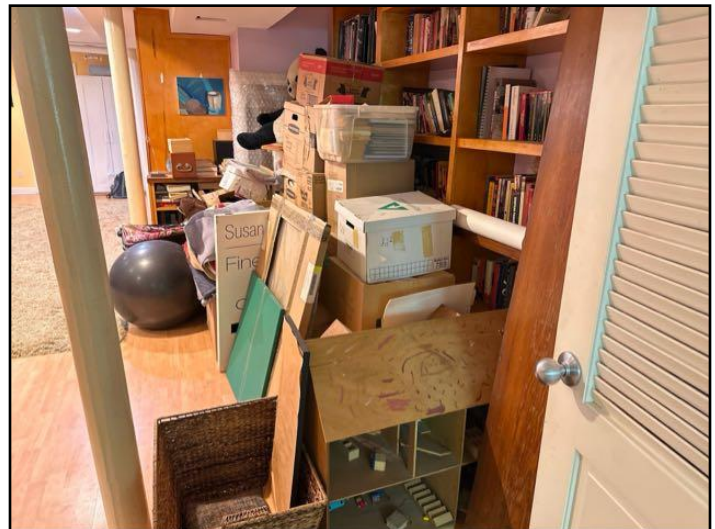
- Storage

*Basement walls and ceilings limited...*

Storage limited viewing in basement

Storage

- Finished living space unable to do a visual inspection.
- Ceiling, wall and floor coverings
- Carpet/furnishings

*Storage*

Not included as part of inspection: • Visible mold evaluation is not included in the building inspection report • An opinion about the adequacy of structural components

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General Info and Descriptions

Configuration: • [Basement](#)

Foundation material:

• [Stone](#)

Old Stone foundation - improve as needed



Stone



Stone

• Not visible

Floor construction: • [Joists](#) • Steel columns • Subfloor - plank • Not visible • Steel main girder • Temporary supports

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing: • Not visible

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Observation and Recommendations

RECOMMENDATIONS \ General

23. Condition: • Old Stab-Lock panel and breakers

Stab-Lok circuit breakers - particularly those manufactured by Federal Pacific Electric - have been noted as a serious safety hazard in homes. Stab-Lok circuit breakers are dangerous because they do not function properly as circuit breakers. The circuit "breaker," which is the switch that is supposed to flip and interrupt current flow when an issue is detected, does not function properly in these panels.. The circuit breakers are not effective for addressing issues like overloaded circuits and short circuits. Because the breakers may not trip when an issue is detected, this can damage home electrical systems, and even increase the risk of an electrical fire.

Task: Replace

Time: As soon as practical



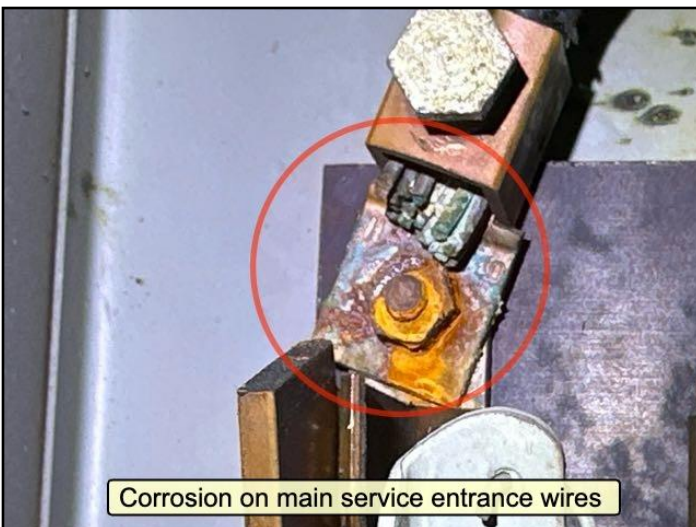
Old Stab-Lock panel and breakers



Old Stab-Lock panel and breakers

MAIN PANEL \ Breaker / wire

24. Condition: • Oxidation



Oxidation



Oxidation

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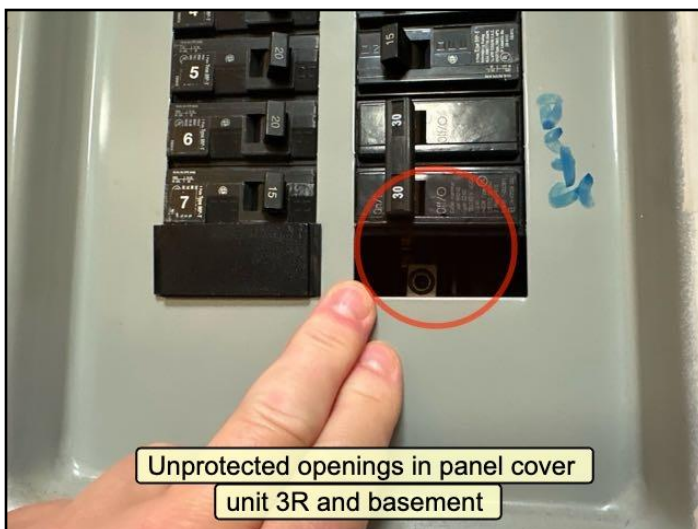
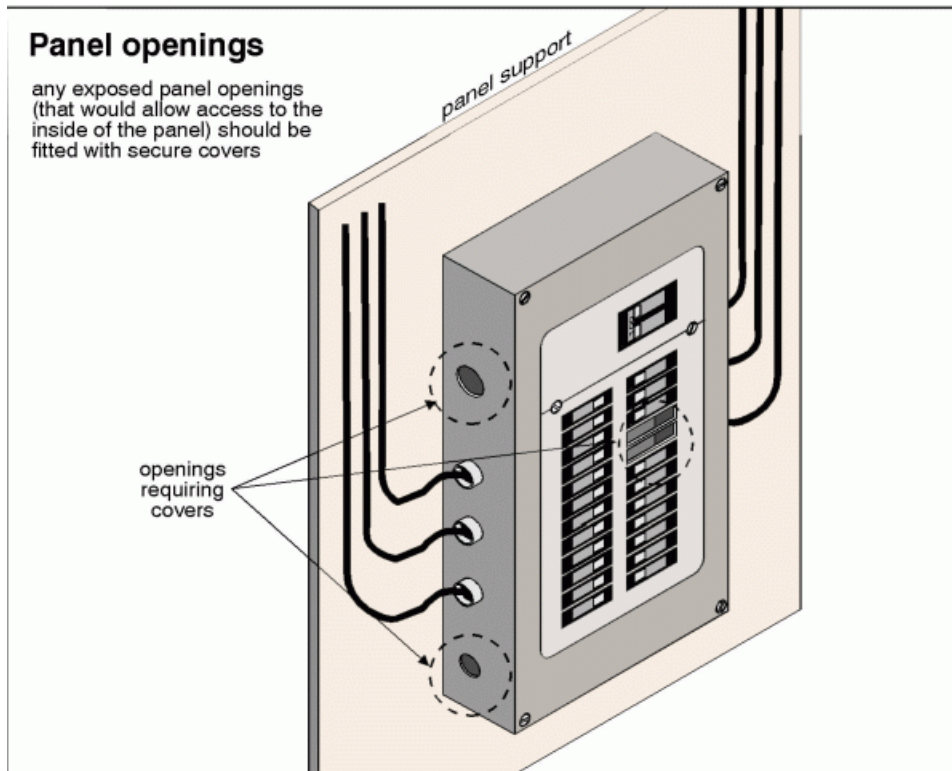
COOLING

PLUMBING

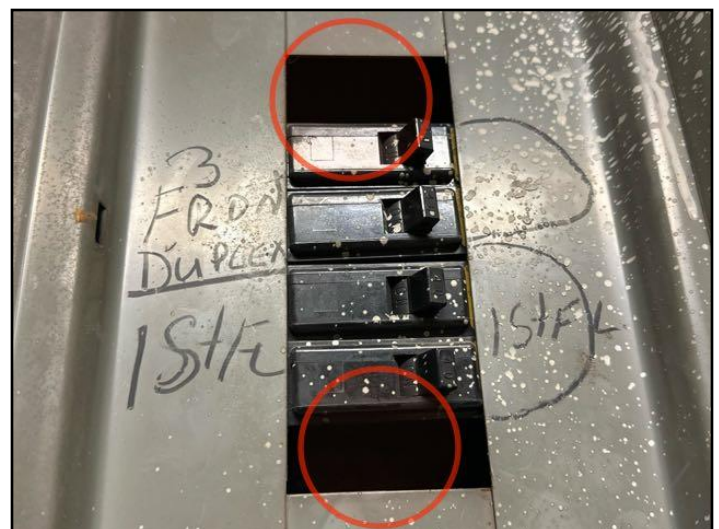
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MAIN PANEL \ Distribution panel**25. Condition:** • [Openings in panel](#)**Implication(s):** Electric shock | Fire hazard**Location:** Unit 3R and basement**Task:** Improve**Time:** As soon as practical

Openings in panel



Openings in panel

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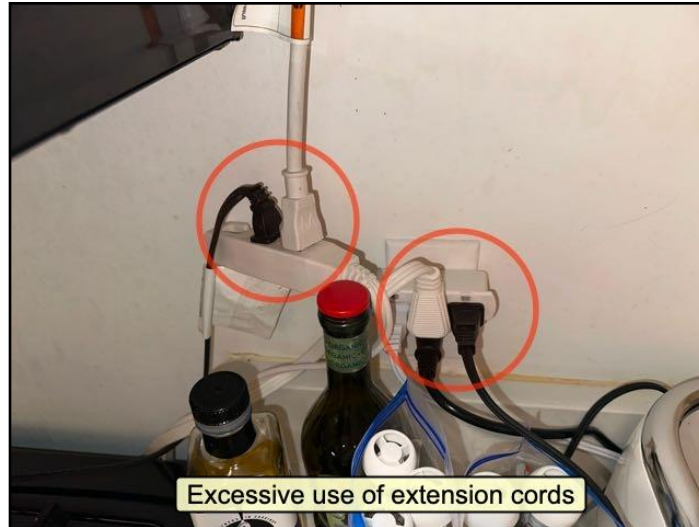
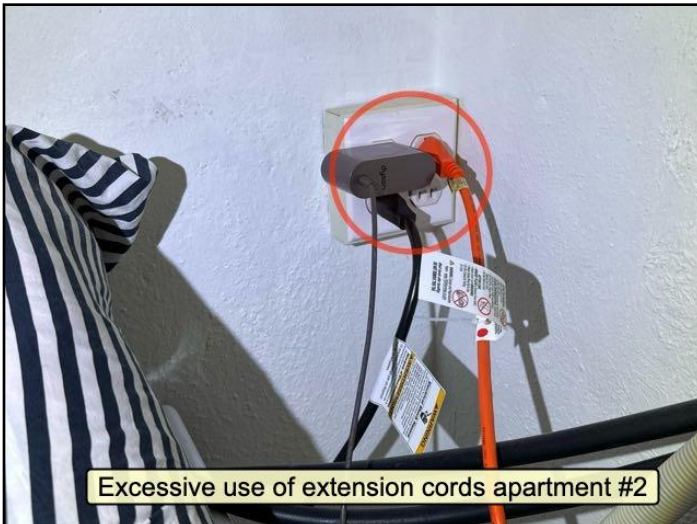
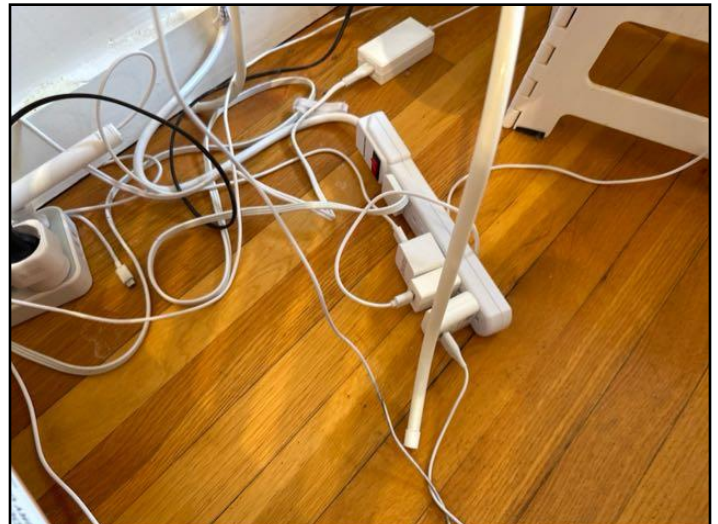
COOLING

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DISTRIBUTION \ Wiring (wires) - installation**26. Condition:** • Excessive use of extension cord**Location:** Apt 2 Kitchen**Task:** Improve*Excessive use of extension cord***27. Condition:** • Excessive use of extension cord**Location:** Second Floor**Task:** Improve**Time:** As soon as practical*Excessive use of extension cord**Excessive use of extension cord***DISTRIBUTION \ Wiring (wires) - damaged or exposed****28. Condition:** • Exposed**Location:** Boiler room

SUMMARY

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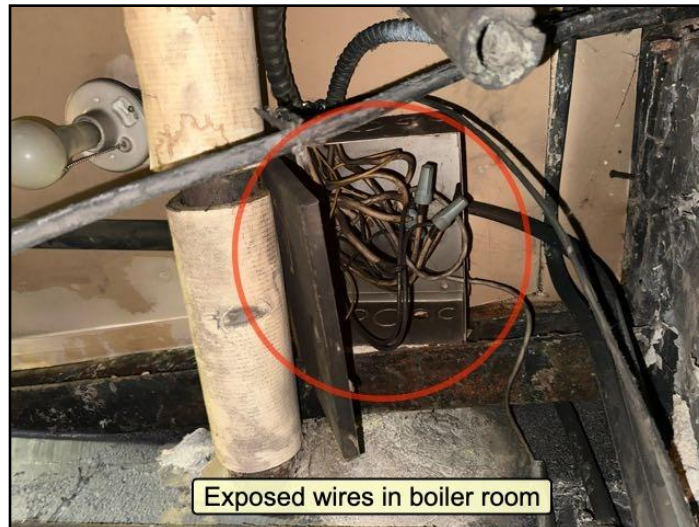
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Task: Improve**Time:** As soon as practical*Exposed***DISTRIBUTION \ Outlets****29. Condition:** • [Inoperative](#)**Implication(s):** Equipment inoperative**Location:** 3R rear deck /Owner suite basement bathroom*Inoperative**Inoperative*

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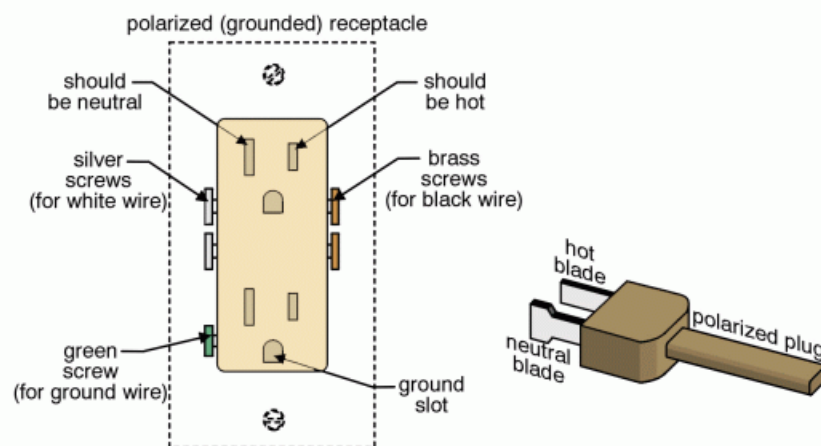
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*Inoperative***30. Condition:** • Reversed polarity**Implication(s):** Electric shock**Location:** First Floor Half Bathroom**Task:** Improve**Reversed polarity**

when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws

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Reversed polarity- First Floor Half Bathroom

*Reversed polarity***31. Condition:** • [Ungrounded](#)

Grounded outlets are an important safety function in electrical systems. Ungrounded outlets, lacking this safety feature, can pose a higher risk to individuals and property. Consult with a licensed electrician for any electrical work needed.

Implication(s): Electric shock

Location: Second floor front bedroom

Task: Improve

Time: As soon as practical



Ungrounded outlet – second floor front bedroom

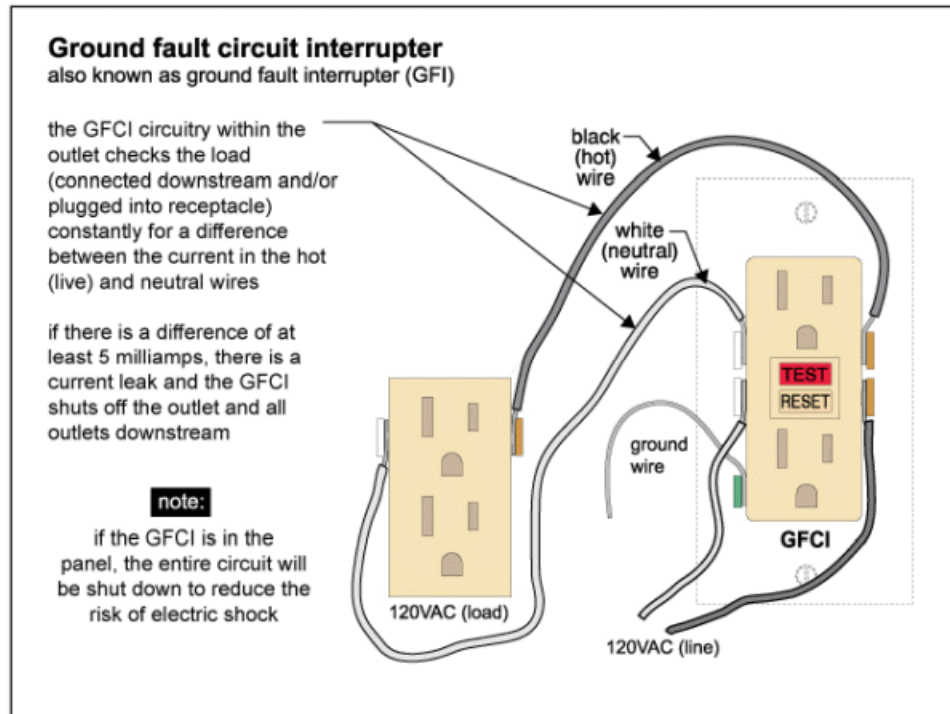
*Ungrounded***32. Condition:** • [No GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

Implication(s): Electric shock

Location: Apt 2 Kitchen & Bathroom/ Apt 3F Kitchen

Task: Improve

Time: As soon as practical



Apartment 2 kitchen outlets not GFCI protected

No GFCI/GFI (Ground Fault Circuit...



Apartment 2 Bathroom

No GFCI/GFI (Ground Fault Circuit...

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Apartment 3F kitchen

No GFCI/GFI (Ground Fault Circuit...



Missing proper GFCI outlet rear exterior

No GFCI/GFI (Ground Fault Circuit...

33. Condition: • [Test faulty on GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

GFCI stands for Ground Fault Circuit Interrupter. GFCI outlets are electrical safety devices designed to protect people from electric shock and prevent electrical fires. They are commonly found in areas where there is a higher risk of electrical hazards, such as bathrooms, kitchens, outdoor areas, garages, and basements. It's important to note that GFCI outlets should be tested regularly to ensure they are functioning correctly. Most GFCI outlets have a "Test" and "Reset" button that should be pressed periodically to verify their operation. If a GFCI outlet fails the test or does not reset, it should be replaced or repaired by a qualified electrician.

Have licensed electrician repair all electrical concerns.

Implication(s): Electric shock

Location: 3R Second Floor Bathroom

Task: Improve or replace

Time: As soon as practical



GFCI outlet was not functioning as intended

Test faulty 3R Second Floor Bathroom

Test faulty on GFCI/GFI (Ground Fault...

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DISTRIBUTION \ Cover plates**34. Condition:** • [Loose](#)**Implication(s):** Electric shock*Loose***DISTRIBUTION \ Lights****35. Condition:** • [Inoperative](#)**Implication(s):** Inadequate lighting**Location:** First Floor Rear Bathroom**Task:** Repair or replace*Inoperative***COMMENTS \ Additional****36. Condition:** • See Home Reference Book located on last page of report for additional information and understanding of the systems in your home.

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General Info and Descriptions

General: • More than 25% of all Smoke and Carbon Monoxide detectors do not operate properly. Recommend any Smoke and Carbon Monoxide detectors that are over 10 years old or have damaged test buttons be replaced immediately.

Service entrance cable and location: • [Underground copper](#)

Service size:

- [150 Amps \(240 Volts\)](#)

150 amp 4 wire 3 phase electrical service

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location:

- [Fuses - basement](#)



Fuses - basement

System grounding material and type: • [Copper - water pipe](#)

Sub panel - type and location:

- Breakers

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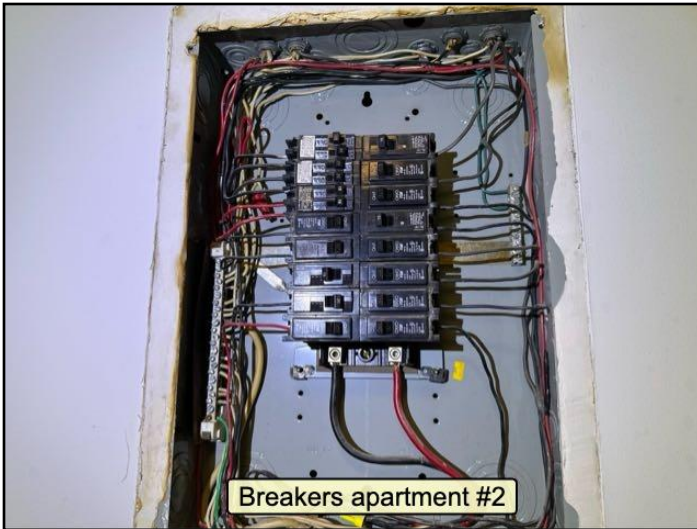
COOLING

PLUMBING

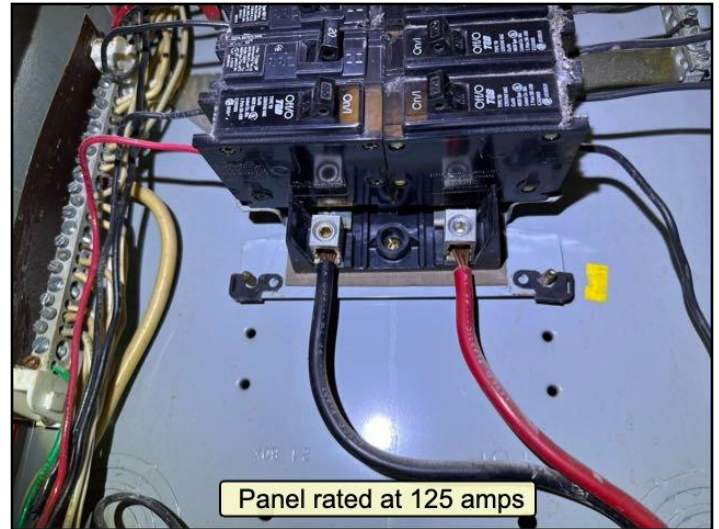
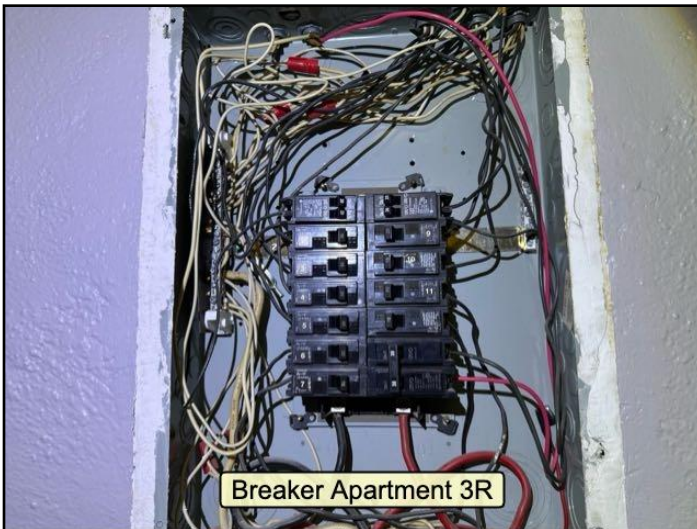
INTERIOR

APPENDIX

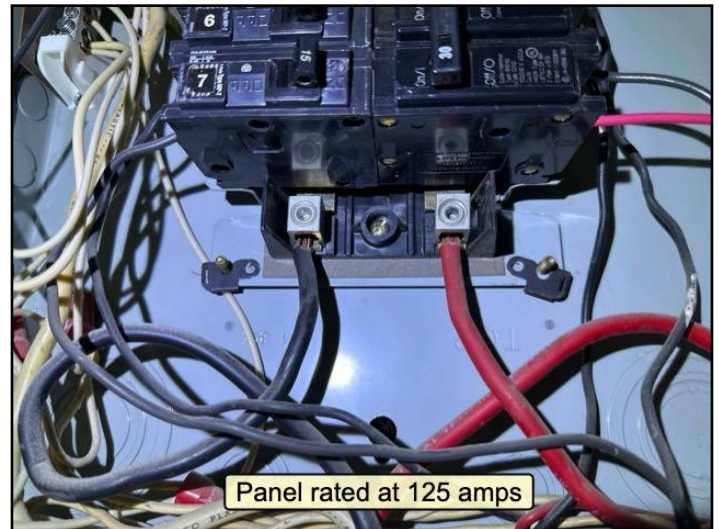
REFERENCE

*Breakers*

- Breakers

*Breakers**Breakers*

- Breakers

*Breakers*

SUMMARY

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Breakers



Breakers



Breakers

- [Breakers - basement](#)



Breakers

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Breakers - basement



Breakers - basement

Type and number of outlets (receptacles): • Grounded and ungrounded - typical • Ground Fault outlets (GFCI) and/or breakers are required for safety, in all interior and exterior areas, where water will be in contact with an electrical power source. Ground fault circuit interrupter (GFCI) devices should be tested periodically to ensure they remain in proper working condition.

Smoke alarms (detectors): • Recommend replacing prior to moving in

Carbon monoxide (CO) alarms (detectors): • Recommend replacing prior to moving in

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Observation and Recommendations

RECOMMENDATIONS \ General

37. Condition: • Recommend an annual service contract with a licensed heating contractor.

OIL HOT WATER \ Oil tank

38. Condition: • [Rust](#)

Implication(s): Fire or explosion

Location: Basement

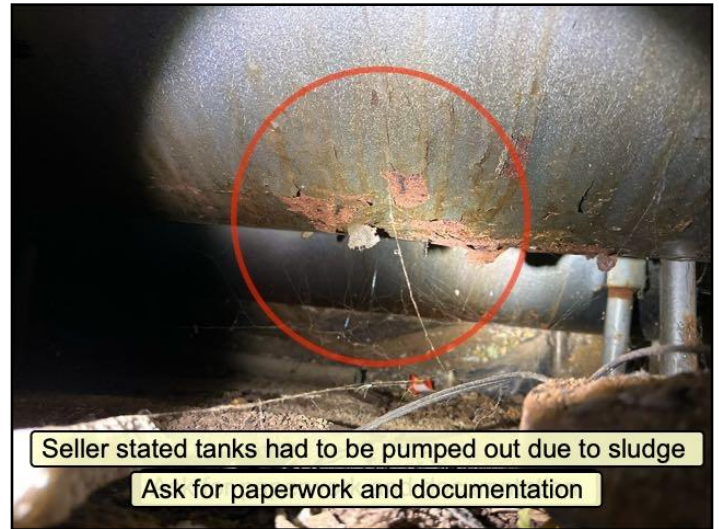
Task: Replace

Time: As soon as practical



Bottom of oil tanks are rusting

Rust



Seller stated tanks had to be pumped out due to sludge

Ask for paperwork and documentation

Rust

39. Condition: • Old oil tanks are prone to leaks

Location: Basement

Task: Replace

Time: As soon as practical



Old oil tanks are prone to leaks
Budget for replacements



Have oil company inspect tanks for safety

Old oil tanks are prone to leaks

Old oil tanks are prone to leaks

CHIMNEY \ Flue

40. Condition: • Needs to be inspected

Task: Further inspection



Recommend separate inspection
of all chimney and flue liners

Needs to be inspected

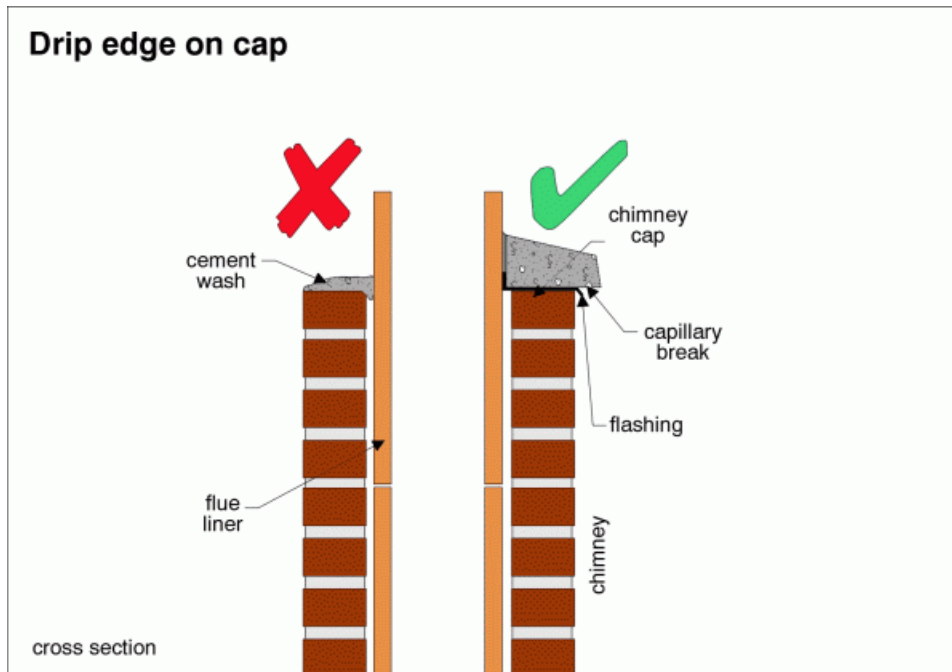
CHIMNEY \ Masonry - Crown

41. Condition: • [No drip edge on cap \(crown\)](#)

Implication(s): Chance of water damage to structure, finishes and contents | Shortened life expectancy of material | Material deterioration

Task: Improve

Time: When repairing chimney

Drip edge on cap

No drip edge on cap (crown)

42. Condition: • [Rain cap missing or damaged](#)

Implication(s): Chance of water entering building | Chance of pests entering building

Task: Provide

Time: As soon as practical

SUMMARY

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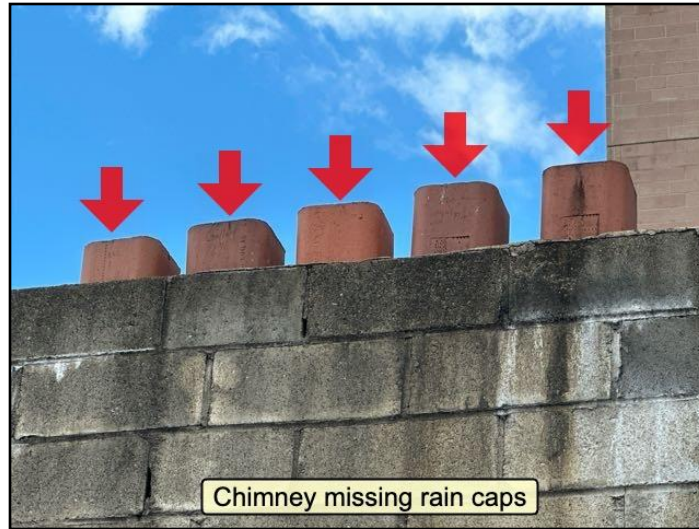
COOLING

PLUMBING

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Rain cap missing or damaged

Inspection Method and Limitations

General: • Older houses with a masonry chimney need to be visually inspected by a professional chimney sweep to further evaluated condition of chimney prior to closing.

Inspection prevented/limited by:

- Heat is controlled by building- Unable to test



Heat is controlled by building- Unable to...

Not included as part of a building inspection: • Interiors of vent systems, flues, and chimneys

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General Info and Descriptions

General: • ****NOTE: The heating and cooling system of this home was inspected and reported on with the information below. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Heating system type: • [Boiler](#)

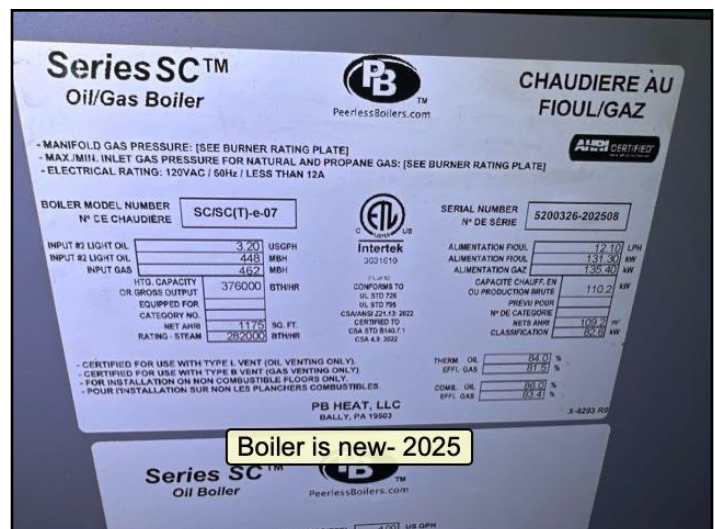
Fuel/energy source: • [Oil](#)

Boiler manufacturer:

- Peerless



Peerless



Peerless

Heat distribution:

- [Radiators](#)
- [Baseboards](#)

Baseboard heat being used in basement

Exhaust venting method: • [Natural draft](#)

Approximate age: • [1 year](#)

Oil tank type/age:

- Old

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Old



Old

Fireplace/stove: • [Wood-burning fireplace](#)

Chimney/vent: • [Masonry](#)

Chimney liner: • [Clay](#) • [Not visible](#)

Observation and Recommendations

AIR CONDITIONING \ Refrigerant lines

43. Condition: • Insulation - missing

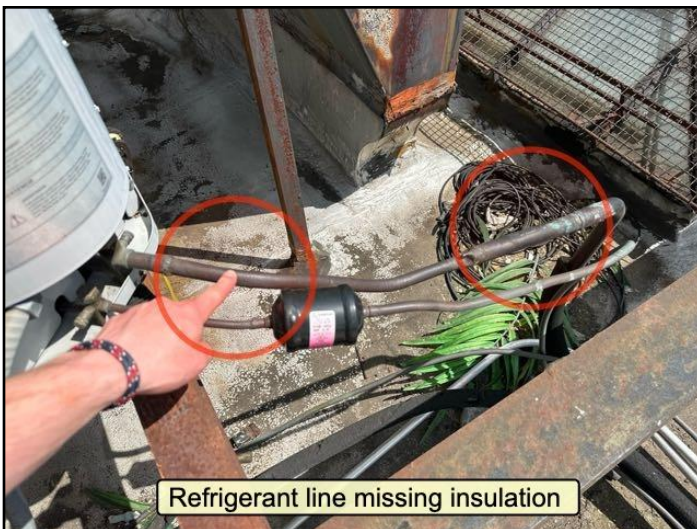
The larger low pressure suction line requires insulation to protect it from condensation. Without insulation around this line, thermal energy is lost and condensation forms, which can both lower efficiency and cause moisture damage to the unit.

Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

Location: Roof and Bolier Room

Task: Improve

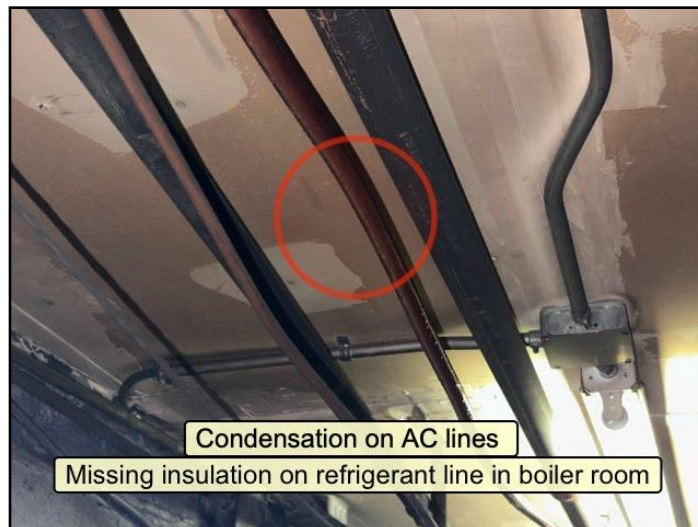
Time: As soon as practical



Insulation - missing



Insulation - missing



Insulation - missing

44. Condition: • Refrigerant lines on roof are missing support pads

Location: Roof

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Task: Provide

Time: As soon as practical



Missing support



Missing support

AIR CONDITIONING \ Ducts, registers and grilles

45. Condition: • Older uninsulated ducts

Location: Roof

Task: Remove

Time: As needed



Older uninsulated ducts



Older uninsulated ducts

Inspection Method and Limitations

Inspection limited/prevented by:

- Thermostat inoperable



Thermostat inoperable

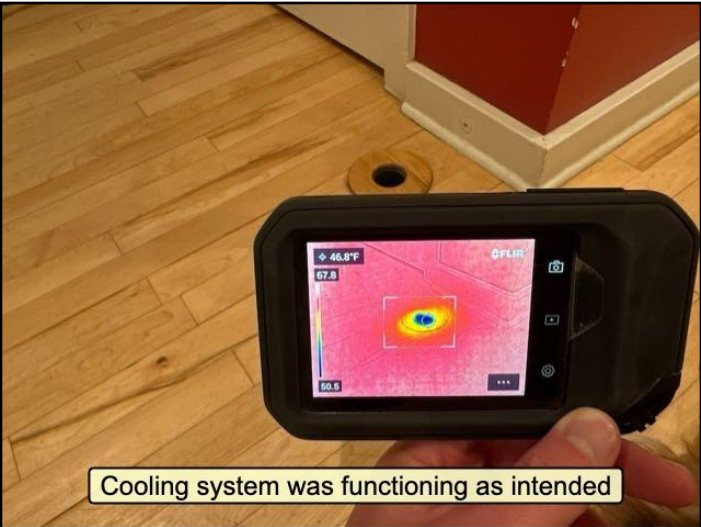


Thermostat inoperable

General Info and Descriptions

General:

- General view of cooling system



General view of cooling system



General view of cooling system

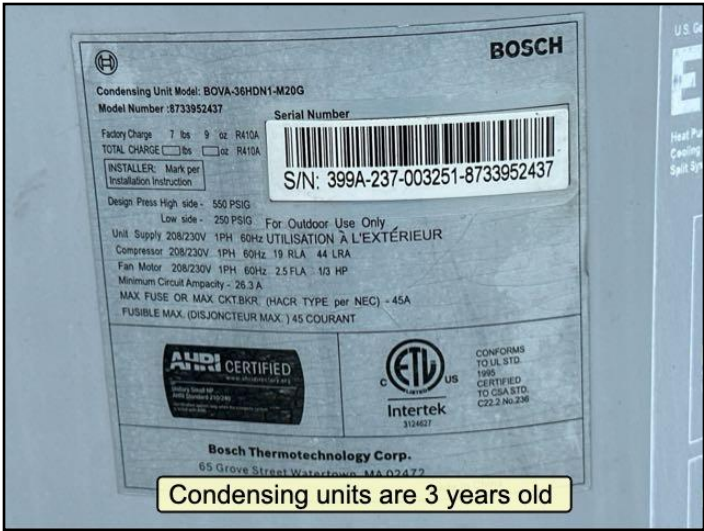
Air conditioning type:

- Central



Central cooling being used for owner's suite

Central



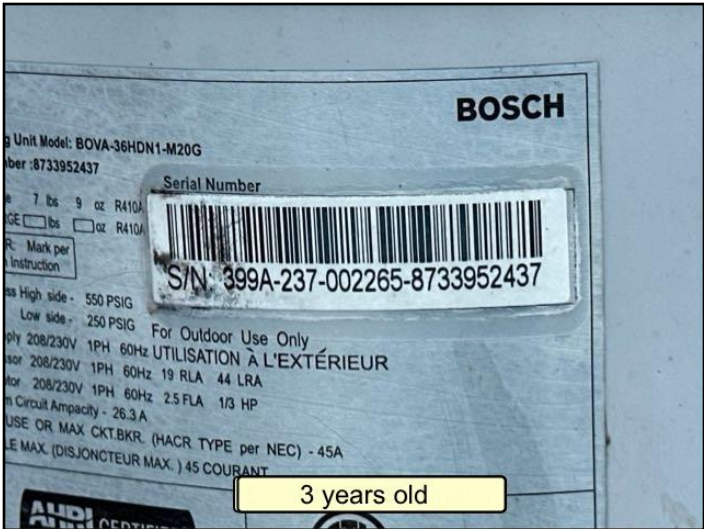
Condensing units are 3 years old

Central



Recommend servicing cooling systems annually

Central



3 years old

Central

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Central



Central



Central



Central

Manufacturer:

- Bosch
- Condensing units
- Space Pak
- Air handlers

Cooling capacity: • [36,000 BTU/hr](#)

Compressor type: • Electric

Compressor approximate age: • 3 years

Refrigerant type: • R-410A

Observation and Recommendations

RECOMMENDATIONS \ General

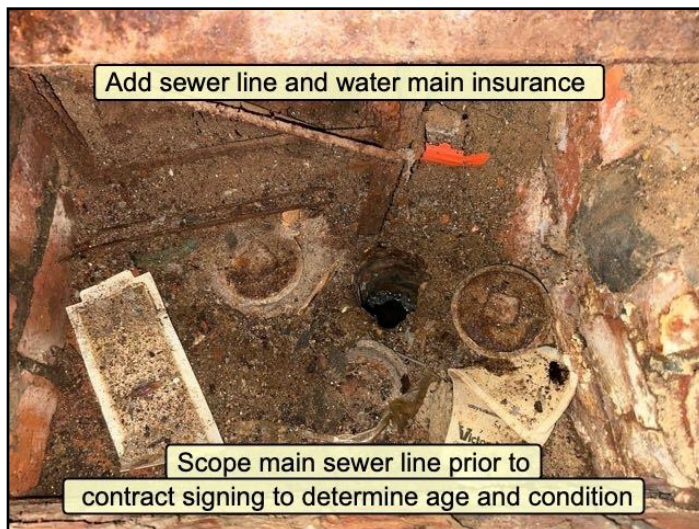
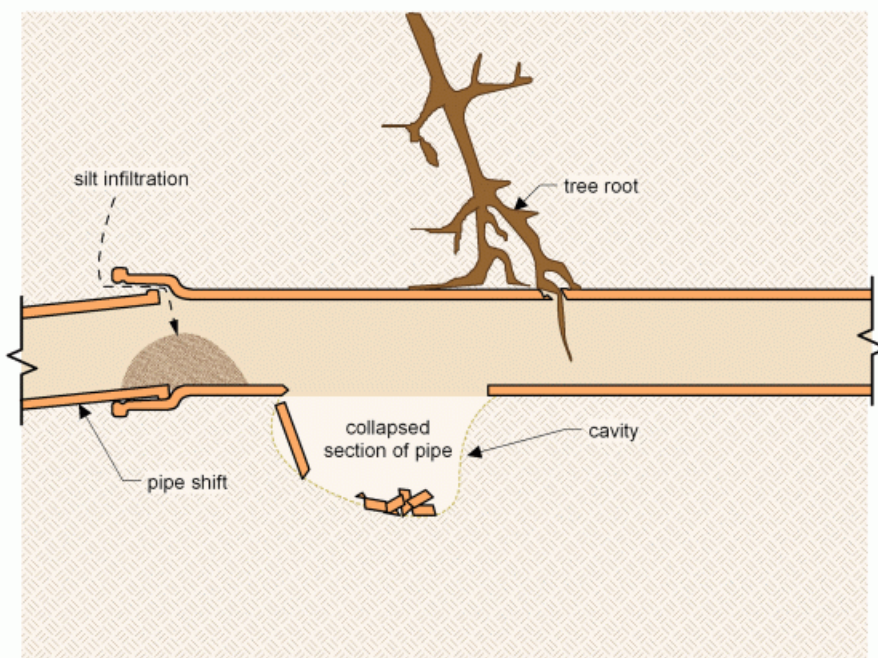
46. Condition: • Scope main sewer line

RECOMMEND HAVING MAIN SEWER LINE SCOPED TO DETERMINE CONDITION OF LINE PRIOR TO CONTRACT SIGNING.

_**_ADD SEWER LINE AND WATER MAIN INSURANCE THRU WATER COMPANY **_!!!!!!!!!!!!

Time: Prior to signing contract

Old clay pipe sewer issues - shift, collapse, roots, silt



Scope main sewer line

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47. Condition: • Recommend adding sewer line insurance

Time: As soon as practical

48. Condition: • Hot water temperature (Generally accepted safe temp. is 120° F)

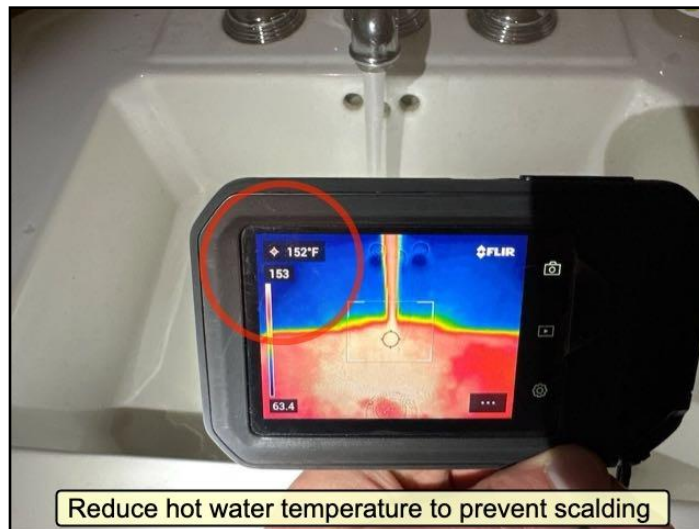
The severity of tap water scalds depends on the temperature of the water and the length of time the skin is exposed. Most adults will suffer third-degree burns if exposed to 150 degree water for two seconds. Burns will also occur with a six-second exposure to 140 degree water or with a thirty second exposure to 130 degree water. Even if the temperature is 120 degrees, a five minute exposure could result in third-degree burns. Extra precaution is advised in homes with children and elderly residents.

Implication(s): Scalding

Location: Throughout

Task: Improve

Time: As soon as practical



Hot water temperature (Generally accepted...

49. Condition: • Old galvanized drains

Location: Various kitchens and bathrooms

Task: Replace

Time: As soon as practical



Various old galvanized drains still in use replace as needed

Old galvanized drains



Old galvanized drains



Old galvanized drains

SUPPLY PLUMBING \ Water main shut off valve

50. Condition: • [Rust](#)

Implication(s): Chance of water damage to structure, finishes and contents | Difficult to service

Location: Basement

Task: Replace

Time: As soon as practical



Water main shut off valve handle rusted

Rust

WASTE PLUMBING \ Drain piping - performance

51. Condition: • Temporary repairs

Location: 3R Kitchen

Task: Repair or replace



Temporary repairs made to kitchen sink drain- 3R

Temporary repairs

WASTE PLUMBING \ Traps - installation

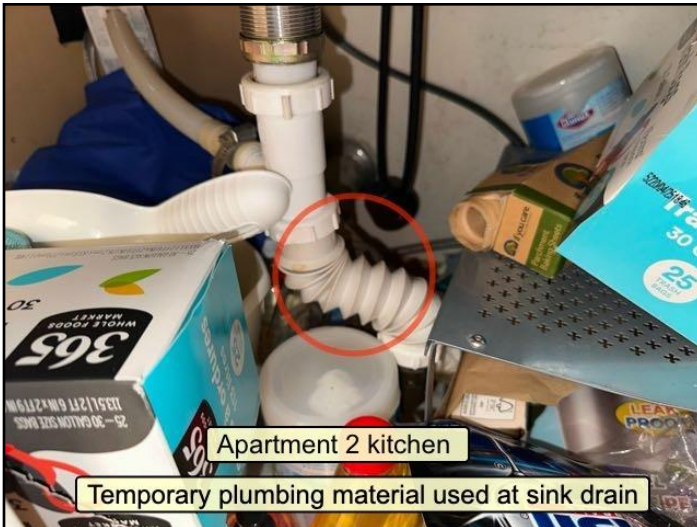
52. Condition: • Temporary plumbing materials

The flexible, corrugated drain pipe observed under the sink is a temporary plumbing material that can trap debris and restrict water flow, increasing the risk of clogs and odors. Replacement with solid, smooth-wall PVC or ABS piping is recommended for improved durability and proper drainage performance.

Location: Apt 2 Kitchen & 3F Second Floor Bathroom

Task: Replace

Time: As soon as practical



Apartment 2 kitchen

Temporary plumbing material used at sink drain



3F Second Floor Bathroom

Temporary plumbing materials

Temporary plumbing materials

FIXTURES AND FAUCETS \ Faucet

53. Condition: • [Stiff or inoperative](#)

Implication(s): System inoperative or difficult to operate



Cold water faucet in master bathroom difficult to operate

Stiff or inoperative

FIXTURES AND FAUCETS \ Toilet

54. Condition: • [Loose](#)

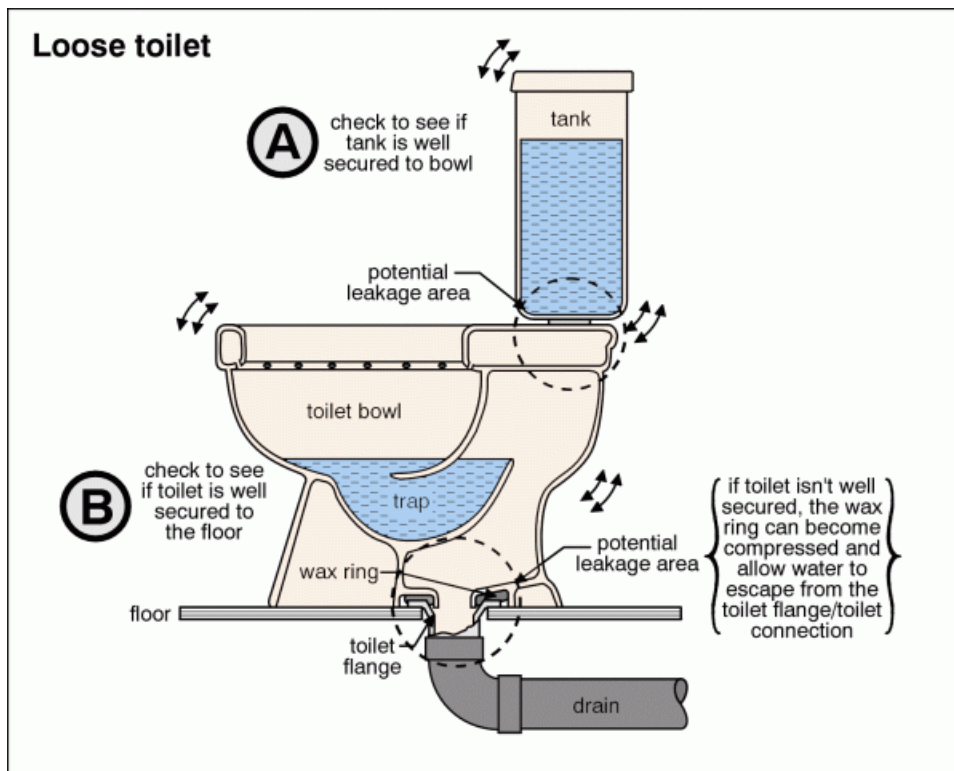
Toilet loose- Apartment 2 bathroom

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

Location: Apt 2 Bathroom

Task: Improve

Time: As soon as practical



55. Condition: • Missing handle

Location: Bathroom

Task: Provide

Time: As soon as practical



Missing handle

Inspection Method and Limitations

Fixtures not tested/not in service:

• Shower



Shower



Shower

• Bathtub



Bathtub

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Not included as part of a building inspection: • Washing machine connections • Not readily accessible interiors of vent systems, flues, and chimneys • Landscape irrigation systems

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General Info and Descriptions

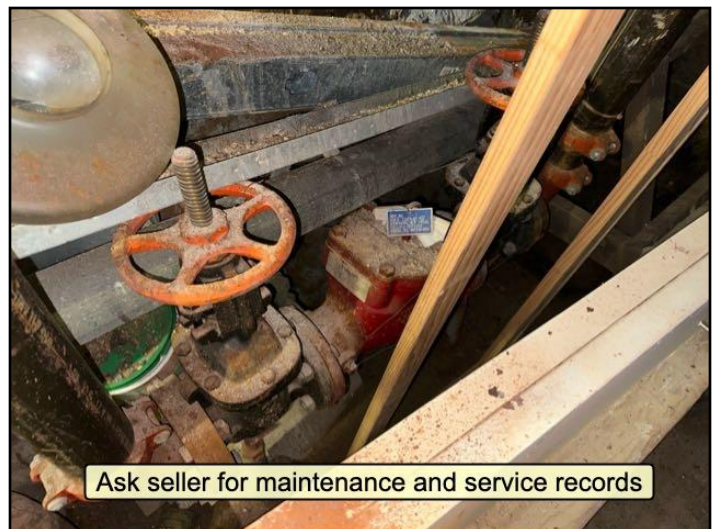
General:

- ****NOTE: Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.
- Sprinkler system



Sprinkler system shut off valves located in basement electrical room

Sprinkler system



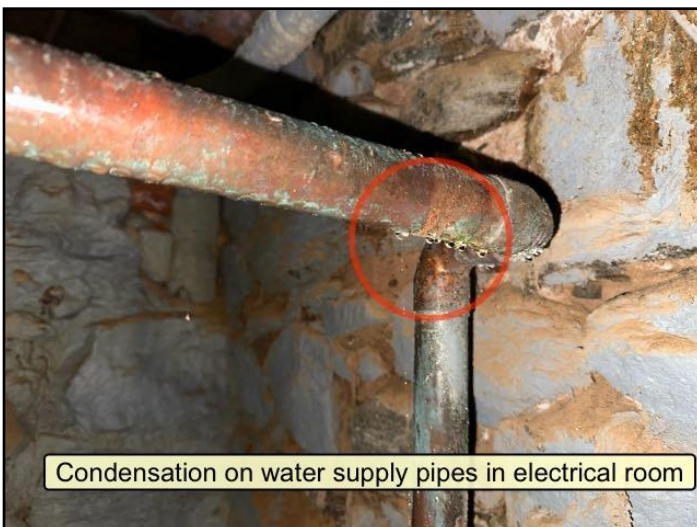
Ask seller for maintenance and service records

Sprinkler system

Water supply source (based on observed evidence): • Public

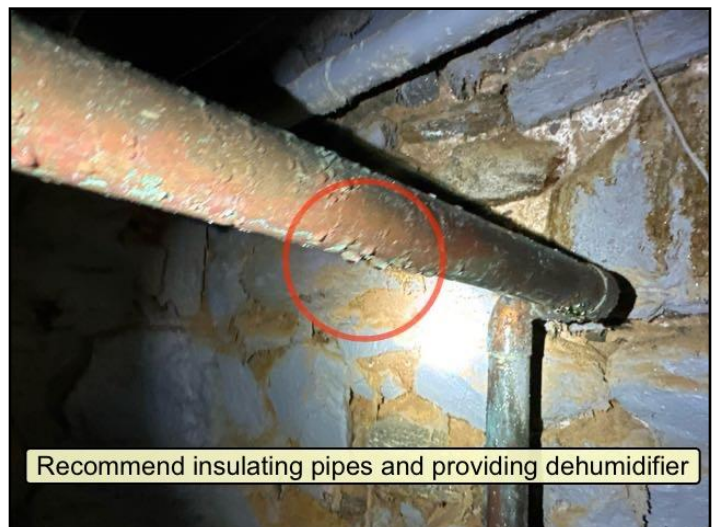
Service piping into building:

- [Copper](#)



Condensation on water supply pipes in electrical room

Copper



Recommend insulating pipes and providing dehumidifier

Copper

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Supply piping in building: • [Copper](#) • [Not visible](#)

Main water shut off valve at the:

- Basement



Basement

Water heater type: • Storage tank

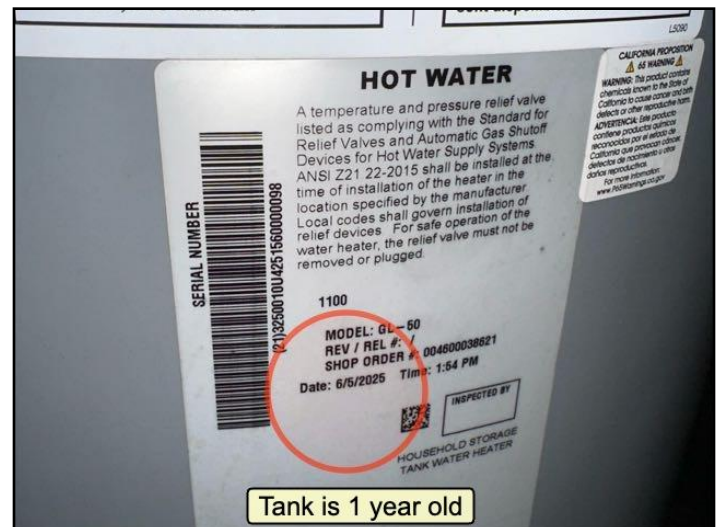
Water heater location: • Boiler room

Water heater manufacturer:

- HTP



HTP



HTP

Water heater tank capacity: • 50 gallons

Water heater approximate age: • 1 year

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Waste disposal system: • [Public](#)

Waste and vent piping in building: • [PVC plastic](#) • [Cast iron](#) • [Galvanized steel](#) • [Not visible](#)

Sewer cleanout location: • Basement

Gas meter location:

• Basement



Basement

Gas piping material: • Steel

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Observation and Recommendations

RECOMMENDATIONS \ General

56. Condition: • ****NOTE: The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

CEILINGS \ Plaster or drywall

57. Condition: • Cracked

Location: 3R Kitchen

Task: Repair



Cracked

FLOORS \ General notes

58. Condition: • Floors have sloping/settling this is common in older houses

Location: Various Second Floor

Task: Improve

Time: When necessary

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Second floor apartment #2 floors sloping

Floors have sloping/settling this is common...

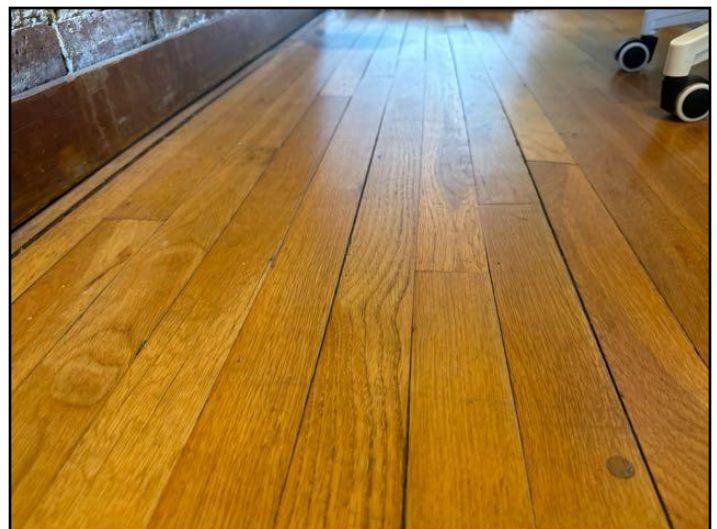


Apartment 3R - Improve as needed

Floors have sloping/settling this is common...



Floors have sloping/settling this is common...



Floors have sloping/settling this is common...

WINDOWS \ General notes

59. Condition: • Older windows

Location: Throughout

Task: Budget for replacements

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	PLUMBING	INTERIOR	APPENDIX
REFERENCE									



Older windows

WINDOWS \ Glass (glazing)

60. Condition: • Old single pane glass

Location: Various

Task: Upgrade/ replace



Old single pane glass



Old single pane glass

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Old single pane glass

STAIRS \ Treads

61. Condition: • [Sloped](#)

Implication(s): Trip or fall hazard

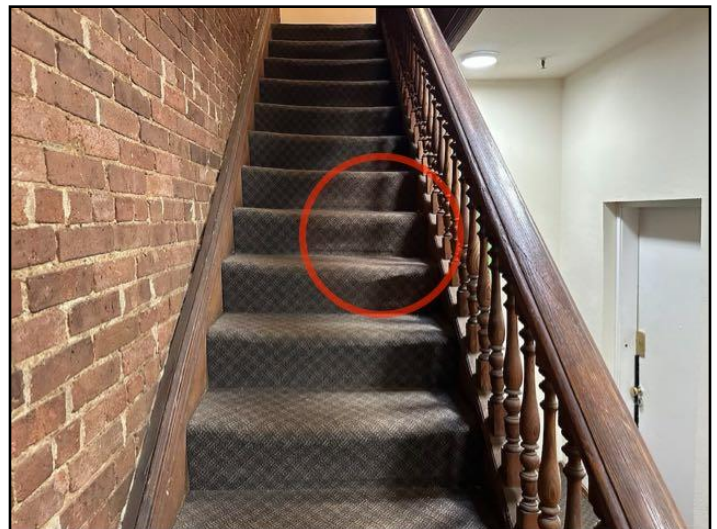
Location: Throughout

Task: Improve

Time: As needed



Sloped



Sloped

STAIRS \ Handrails and guards

62. Condition: • [Loose](#)

Implication(s): Fall hazard

Location: First Floor

Task: Repair

SUMMARY

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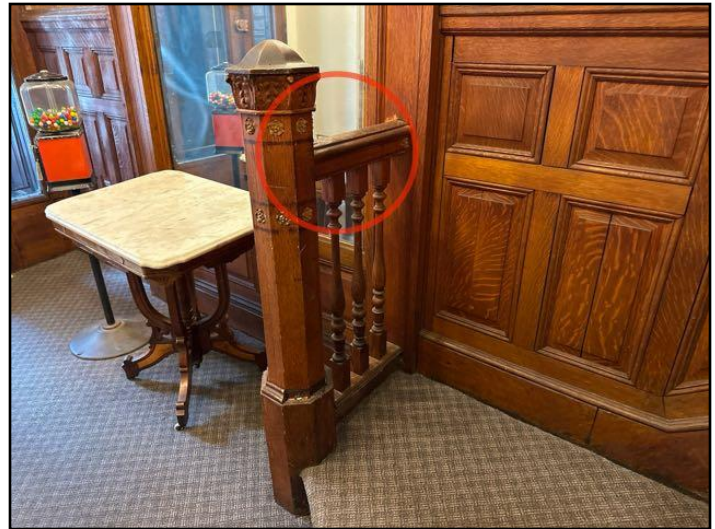
INTERIOR

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Loose



Loose

63. Condition: • Handrails too wide

Location: 3R & 3F

Task: Improve



Handrails too wide



Handrails too wide

APPLIANCES \ Stove

64. Condition: • Anti-tip device missing

Anti - tip bracket is an L-shaped metal piece installed where the wall meets the floor behind the stove. Anti-tip brackets are especially advised in homes with children.

Implication(s): Physical injury

Location: Apt 3F Kitchen

Task: Provide

Time: As soon as practical

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Anti-tip device missing



Anti-tip device missing

APPLIANCES \ Microwave oven

65. Condition: • Damaged

Location: Apt 3F Kitchen

Task: Repair or replace



Damaged

APPLIANCES \ Washing machine

66. Condition: • Replace with braided hoses

The washing machine has standard rubber supply hoses, which are more prone to deterioration and sudden failure. Upgrading to braided stainless steel hoses is advised to reduce the risk of leaks or water damage.

Location: Basement Laundry Area

Task: Replace

Time: As soon as practical

SUMMARY

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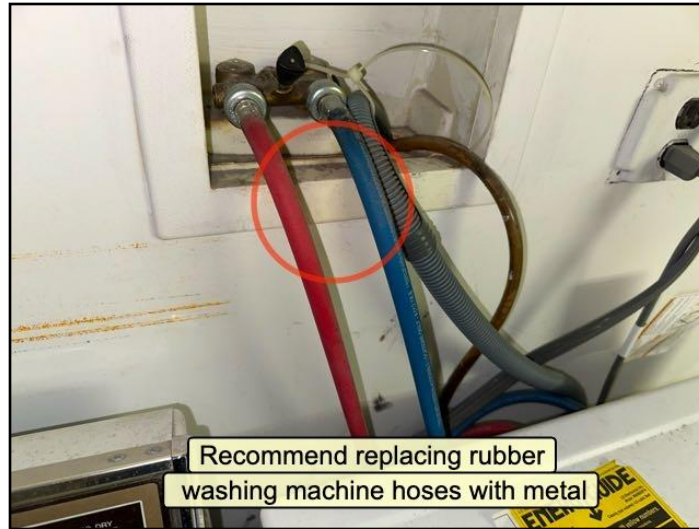
COOLING

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Replace with braided hoses

APPLIANCES \ Dryer

67. Condition: • Dryer vent disconnected

Implication(s): Chance of damage to finishes and structure | Equipment not operating properly | Fire hazard | Odors, molds, etc.

Location: Apartment 3F Master Bedroom

Task: Improve

Time: Prior to using



Dryer vent disconnected

68. Condition: • Damage

Implication(s): Reduced operability

Location: Apartment 3R

Task: Repair or replace

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Damage

Inspection Method and Limitations

Inspection limited/prevented by: • Storage/furnishings

Not tested:

- Oven



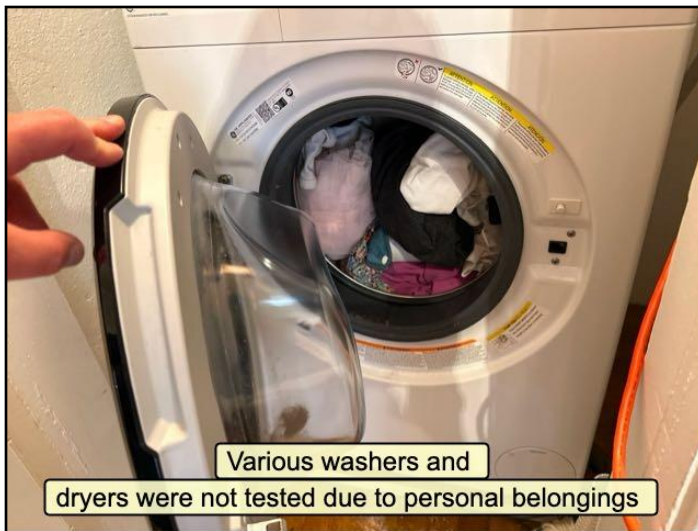
Oven

- Dishwasher



Dishwasher

- Washer and Dryer not tested



Washer and Dryer not tested



Washer and Dryer not tested

SUMMARY

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Washer and Dryer not tested



Washer and Dryer not tested

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any • Aesthetics or quality of finishes • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Environmental issues including asbestos

Appliances: • Appliances are not inspected or moved as part of a building inspection

Basement leakage: • Cannot predict how often or how badly basement will leak

General Info and Descriptions

General: • Reference library is provided on last page of report. This will help in understanding how your new house functions and scheduled preventative maintenance items to consider. Any questions feel free to call anytime. Enjoy and good luck with your new home.

All the best - Rob and Chris Byrne 516-509-9091

Higher Elevation Home Inspections LLC

Major floor finishes: • [Carpet](#) • [Hardwood](#) • Tile

Major wall finishes: • [Plaster/drywall](#) • [Brick](#)

Major ceiling finishes: • [Plaster/drywall](#)

Windows: • [Single/double hung](#)

Glazing: • [Single](#)

Range fuel: • Gas

Appliances: • Refrigerator • Dishwasher • Microwave oven • Range

END OF REPORT

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Wood Destroying Insect Inspection Report

Notice: Please read important consumer information on page 2

Section I. General Information

Inspection Company, Address & Phone

Higher Elevation LLC

188 Brown St

Sea Cliff, NY 11579

(516) 509-9091

Company's Pest Control Business Lic. No.

Date of Inspection

Address of Property Inspected

Inspector's Name, Signature & Certification, Registration, or Lic. #

Robert Byrne

T1906779

Robert Byrne

Structure(s) Inspected

TOWNHOUSE

Section II. Inspection Findings This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or wood destroying insect damage. **Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:**

☒ **A. No visible** evidence of wood destroying insects was observed☐ **B. Visible** evidence of wood destroying insects was observed as follows:☐ 1. Live insects (description and location):☐ 2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location):☐ 3. **Visible** damage from wood destroying insects was noted as follows (description and location):

NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.

Section III. Recommendations☒ No action and/or treatment recommended: (Explain if Box B in Section II is checked):☐ Recommend treatment for the control of:**Section IV. Obstructions and Inaccessible Areas**

The following areas of the structure(s) inspected were obstructed or inaccessible:

☒ Basement: FINISHED WALLS AND CEILINGS; FURNITURE/ STORAGE☐ Crawlspace:☒ Main Level: FINISHED WALLS, FLOORS AND CEILINGS; FURNITURE/ STORAGE☐ Attic:☐ Garage:☒ Exterior: EXTERIOR SIDING☐ Porch:☐ Addition:☐ Other:

The inspector may write out obstructions or use the following optional key:

- | | |
|-------------------------|--|
| 1. Fixed ceiling | 15. Standing water |
| 2. Suspended ceiling | 16. Dense vegetation |
| 3. Fixed wall covering | 17. Exterior siding |
| 4. Floor covering | 18. Window well covers |
| 5. Insulation | 19. Wood pile |
| 6. Cabinets or shelving | 20. Snow |
| 7. Stored items | 21. Unsafe conditions |
| 8. Furnishings | 22. Rigid foam board |
| 9. Appliances | 23. Synthetic stucco |
| 10. No access or entry | 24. Duct work, plumbing, and/or wiring |
| 11. Limited access | 25. Spray foam insulation |
| 12. No access beneath | 26. Equipment |
| 13. Only visual access | |
| 14. Cluttered condition | |

Section V. Additional Comments and Attachments (these are an integral part of the report)

** RECOMMEND ANNUAL TERMITE INSPECTION *

Attachments

Signature of Seller(s) or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer.

X

Signature of Buyer. The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported.

X

Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. Please refer to the NPMA Suggested Guidelines for instructions on completing this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

1. About the Inspection: A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection.

For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms. This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection. This shall not be construed as a 90-day warranty. There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.

2. Treatment Recommendation Guidelines Regarding Subterranean Termites: Treatment or corrective action should be recommended if live termites are found. If no evidence of a previous treatment is documented and evidence of infestation is found, even if no live termites are observed, treatment or corrective action by a licensed pest control company should be recommended. Treatment or corrective action may be recommended if evidence of infestation is observed, and a documented treatment occurred previously, unless the structure is under warranty or covered by a service agreement with a licensed pest control company.

For other Wood Destroying Insects, please refer to the NPMA suggested guidelines for added guidance on actions and or treatment.

3. Obstructions and Inaccessible Areas: No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.

4. Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects. Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.

5. Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

PLUMBING

INTERIOR

APPENDIX

REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS